

FAIRFAX COUNTY PUBLIC SCHOOLS FAIRFAX, VA

PROJECT # MMB-028-24

LORTON CENTER

WINDOW REPLACEMENT - PHASE A

CONSTRUCTION DOCUMENTS

01-19-2024



GAUTHIER
ALVARADO
ASSOCIATES

ARCHITECTURE | ENGINEERING | PLANNING
10201 FAIRFAX BOULEVARD, SUITE 225, FAIRFAX, VIRGINIA
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ABBREVIATIONS

ACM	ASBESTOS CONTAINING MATERIALS	E	EAST	JAN	JANITOR	S	SOUTH
ACS FLR	ACCESS FLOOR (ING)	EA	EACH	JST	JOIST	SAPC	SUSPENDED ACOUSTICAL PANEL
ACS PNL	ACCESS PANEL	EE	EACH END	JT	JOINT	CEILING	CEILING
ACST	ACOUSTIC (AL)	EF	EACH FACE	SATC	SUSPENDED ACOUSTICAL TILE	CEILING	CEILING
AD	AREA DRAIN	EJ	EXPANSION JOINT	L	LONG; LENGTH	SCHED	SCHEDULE (D)
ADJ	ADJACENT; ADJUSTABLE	EL	ELEVATION	LAB	LABORATORY	SCW	SOLID CORE WOOD
ADDL	ADDITIONAL	ELEC	ELECTRIC (AL)	LAM	LAMINATE (D)	SECT	SECTION
ADDM	ADDENDUM	ELEV	ELEVATOR	LAV	LAVATORY	SECT	SECTION
AFC	ABOVE FINISH COUNTER	EMER	EMERGENCY	LBS	POUNDS	SF	STOREFRONT; SQUARE FOOT
AFF	ABOVE FINISH FLOOR	ENCL	ENCLOSURE (LURE)	LF	LINEAR FEET	SIM	SIMILAR
AL	ALUMINUM	EPDM	ETHYLENE PROPYLENE DIENE MONOMER	LPT	LOW POINT	SQ	SQUARE
ALT	ALTERNATE	EQ	EQUAL	MACH	MACHINE	SST	STAINLESS STEEL
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	EQUIP	EQUIPMENT	MAS	MASONRY	ST	STREET
APPROX	APPROXIMATE	EW	EACH WAY	MATL	MATERIAL	STC	SOUND TRANSMISSION CRITERIA
ARCH	ARCHITECT (URAL)	EWC	ELECTRIC WATER COOLER	MAX	MAXIMUM	STD	STANDARD
ASC	ABOVE SUSPENDED CEILING	EXH	EXHAUST	MKR BD	MARKER BOARD	STL	STEEL
ASPH	ASPHALT	EXIST	EXISTING	MDF	MEDIUM DENSITY FIBERBOARD	STOR	STORAGE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	EXP	EXPOSED; EXPANSION	MECH	MECHANICAL	STRUCT	STRUCTURE (AL)
		EXT	EXTERIOR; EXTINGUISHER	MED	MEDIUM	SUSP	SUSPENDED
		F	FAHRENHEIT	MTL	METAL	SYMM	SYMMETRY (ICAL)
		FIO	FACE OF	MFR	MANUFACTURER	T	TREAD
BAL	BALANCE	FA	FIRE ALARM	MIN	MINIMUM; MINUTE	T&G	TONGUE AND GROOVE
BD	BOARD	FD	FLOOR DRAIN	MISC	MISCELLANEOUS	T/O	TOP OF
BITUM	BITUMINOUS	FDN	FOUNDATION	MO	MASONRY OPENING; MOTOR OPERATED	TEL	TELEPHONE
BLDG	BUILDING	FE	FIRE EXTINGUISHER	MTD	MOUNTED	TEMP	TEMPERATURE; TEMPORARY
BLKG	BLOCKING	FH	FIRE HYDRANT	MTG	MOUNTING	THK	THICK (NESS)
BOT	BOTTOM	FIN	FINISH (ED)	N	NORTH	THRU	THROUGH
BRDG	BRIDGING	FLASH	FLASHING	NIC	NOT IN CONTRACT	TK BD	TACK BOARD
BS	BOTH SIDES	FLR	FLOOR	NO	NUMBER	TOW	TOP OF WALL
BTWN	BETWEEN	FLUOR	FLUORESCENT	NR	FIRE RESISTANT	TRTD	TREATED
BUR	BUILT-UP ROOFING	FRTW	FIRE RETARDANT TREATED WOOD	NTS	NOT TO SCALE	TV	TELEVISION
CAB	CABINET	FT	FOOT, FEET	OC	ON CENTER	TYP	TYPICAL
CAP	CAPACITY	FTG	FOOTING	OD	OUTSIDE DIAMETER	UC	UNDER COUNTER
CH BD	CHALKBOARD	FTR	FLUE THRU ROOF	OPNG	OPENING	UGND	UNDERGROUND
CI	CAST IRON	FURG	FURRING (ED)	OPP	OPPOSITE	UL	UNDERWRITER'S LABORATORIES
CJ	CONTROL JOINT	GA	GAGE	OVHD	OVERHEAD	UON	UNLESS OTHERWISE NOTED
CLG	CEILING	GALV	GALVANIZED	PART	PARTIAL	W	WIDTH; WASTE; WEST; WIRE
CLD	CLOSET	GL	GLASS	PL	PLATE	WI	WITH
CLR	CLEAR	GYP	GYPSPUM	PLAM	PLASTIC LAMINATE	WIO	WITHOUT
CMU	CONCRETE MASONRY UNIT	HB	HOSE BIBB	PLAS	PLASTER	WC	WATER CLOSET
CO	CASED OPENING	HC	HANDICAP	PLBG	PLUMBING	WD	WOOD
COL	COLUMN	HOW	HOLLOW CORE WOOD	PLYWD	PLYWOOD	WDW	WINDOW
CONC	CONCRETE	HW	HARDWARE	PNL	PANEL	WP	WATERPROOF (ING); WORK POINT
CONN	CONNECTION	HDM	HOLLOW METAL	PTD	PAINTED	WT	WEIGHT
CONSTR	CONSTRUCTION	HORIZ	HORIZONTAL	PTN	PARTITION	WWR	WELDED WIRE REINFORCING
CONT	CONTINUOUS	HPT	HIGH POINT	PVC	POLYVINYL CHLORIDE	XFMR	TRANSFORMER
CONTR	CONTRACTOR	HT	HEIGHT	R	RADIUS; RISER		
COORD	COORDINATE	HVAC	HEATING/VENTILATING/AIR CONDITIONING	RO	ROOF DRAIN		
CPT	CARPET (ED)	ID	INSIDE DIAMETER	REINF	REINFORCEMENT		
CSK	COUNTER SUNK	INCL	INCLUDE (D), (ING)	REQD	REQUIRED		
CT	CERAMIC TILE	INFO	INFORMATION	RESIL	RESILIENT		
CU	COPPER	INSUL	INSULATION; INSULATED	REV	REVISION		
CW	COLD WATER	INT	INTERIOR	RM	ROOM		
				RO	ROUGH OPENING		
				RTU	ROOF TOP UNIT		
				RWL	RAIN WATER LEADER		

SYMBOLS

	LOBBY	ROOM DESIGNATION		BUILDING SECTION LETTER
	ROOM NUMBER		SHEET WHERE DRAWN	
	KEY NOTE		SECTION NUMBER	
	REVISION NUMBER		DETAIL NUMBER	
	COLUMN DESIGNATION			

MATERIALS

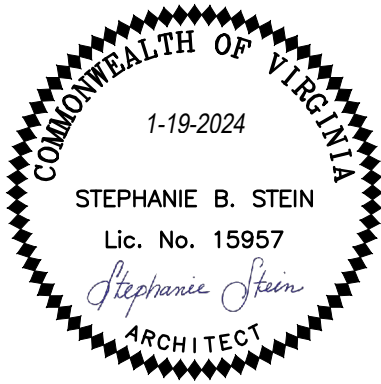
	EARTH		METAL (LARGE SCALE)		INSULATION (BATT OR LOOSE)
	GRAVEL		METAL (SMALL SCALE)		INSULATION (RIGID)
	CONCRETE		PLYWOOD		GYPSPUM BOARD, CEMENT, GROUT
	BRICK		WOOD (FINISHED)		CERAMIC TILE, ACOUSTICAL TILE
	CONCRETE MASONRY UNIT		WOOD (ROUGH)		

GENERAL NOTES

- PERFORM WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL GOVERNING ORDINANCES, CODES AND REGULATIONS.
- ALL MATERIALS SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS.
- VISIT AND BECOME FAMILIAR WITH THE SITE AND BUILDING PRIOR TO BID. INCLUDE THE COST OF ALL WORK DESCRIBED IN THE CONTRACT DOCUMENTS AND THAT IS REQUIRED OR REASONABLY IMPLIED TO ACHIEVE THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
- NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND THE NEW WORK, OF ANY OMISSIONS OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK.
- FIELD VERIFY ALL CONDITIONS AND DIMENSIONS INDICATED PRIOR TO THE PURCHASING OF MATERIALS, FABRICATION OR CONSTRUCTION OF ANY ITEM.
- PROTECT EXISTING BUILDING FROM WEATHER DURING EXECUTION OF THE WORK; AND PROTECT EXISTING ADJACENT AREAS FROM DAMAGE DURING EXECUTION OF THE WORK. PROVIDE PROTECTION FOR FLOORS (VCT & CARPET) FROM DAMAGE. ALL ITEMS DAMAGED DURING THE WORK SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ADJACENT AREAS OF THE EXISTING FACILITY WILL REMAIN IN OPERATION WHILE WORK IS BEING DONE. ALL WORK SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE, AND SHALL BE SEQUENCED AND PERFORMED IN A MANNER TO MINIMIZE ANY IMPACTS ON EXISTING FACILITY OPERATIONS.
- PROTECT EXISTING GRASS AND PLANTING AREAS. RESTORE ANY AREA DAMAGED BY THE WORK TO ORIGINAL CONDITION.
- BUILDING SHALL BE WEATHER TIGHT AT END OF EACH DAY, OPENINGS TO BE COVERED WITH PLYWOOD & PLASTIC OR EQUALLY PROTECTED, FROM WEATHER AND INTRUSION.

INDEX OF DRAWINGS

T001	COVER SHEET
ARCHITECTURAL	
A101	COMPOSITE FLOOR PLAN
A102	FLOOR PLAN - PHASE A
A201	BUILDING ELEVATIONS AND WINDOW ELEVATIONS
A301	SECTIONS AND DETAILS



REVISIONS		
NO.	DATE	DESCRIPTION

DRAWING NUMBER
T001



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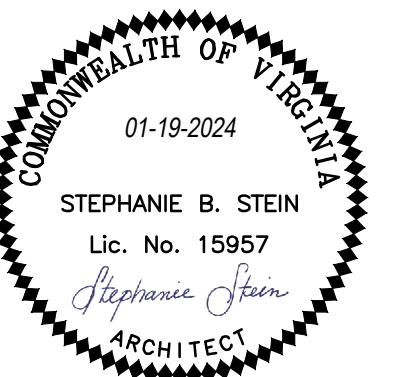
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**FAIRFAX COUNTY
PUBLIC SCHOOLS
PROJECT #MMB-028-24**

FAIRFAX, VA

**LORTON CENTER
WINDOW
REPLACEMENT
-PHASE A-**



REVISIONS

NO.	DATE	DESCRIPTION

GAA PROJECT NO. 735-E40

DRAWN BY JDH

CHECKED BY JH

DATE 01-19-2024

DRAWING TITLE

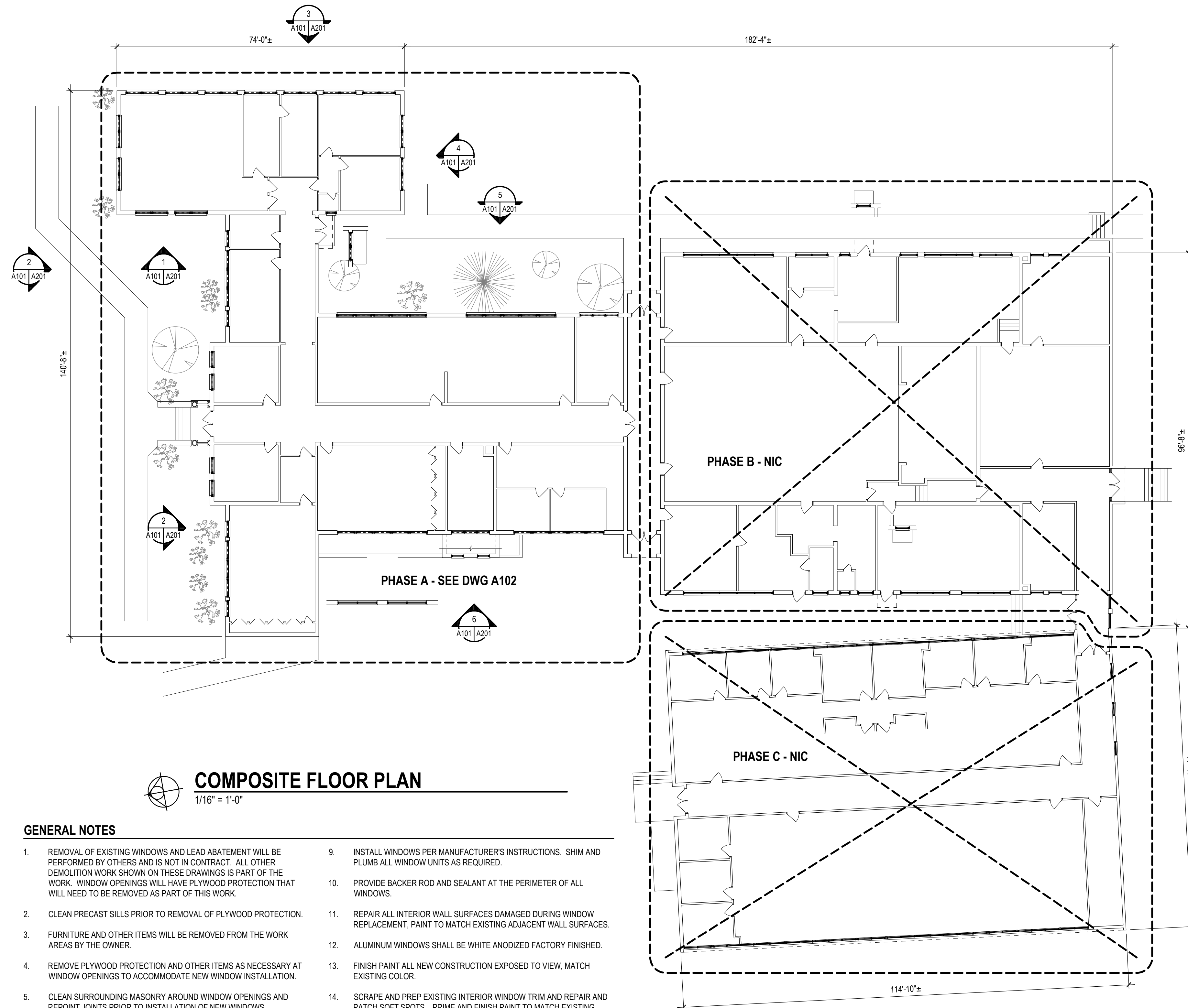
**ARCHITECTURAL
COMPOSITE FLOOR PLAN**

PROJECT STATUS

CONSTRUCTION DOCUMENTS

DRAWING NUMBER

A101



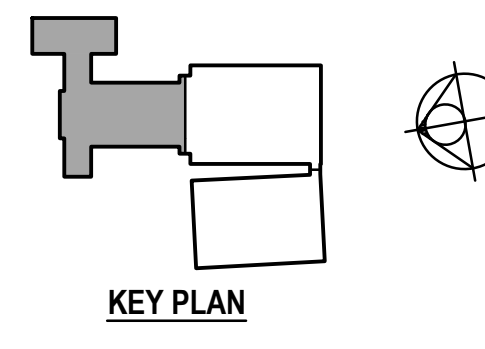
COMPOSITE FLOOR PLAN
1/16" = 1'-0"

GENERAL NOTES

- REMOVAL OF EXISTING WINDOWS AND LEAD ABATEMENT WILL BE PERFORMED BY OTHERS AND IS NOT IN CONTRACT. ALL OTHER DEMOLITION WORK SHOWN ON THESE DRAWINGS IS PART OF THE WORK. WINDOW OPENINGS WILL HAVE PLYWOOD PROTECTION THAT WILL NEED TO BE REMOVED AS PART OF THIS WORK.
- CLEAN PRECAST SILLS PRIOR TO REMOVAL OF PLYWOOD PROTECTION.
- FURNITURE AND OTHER ITEMS WILL BE REMOVED FROM THE WORK AREAS BY THE OWNER.
- REMOVE PLYWOOD PROTECTION AND OTHER ITEMS AS NECESSARY AT WINDOW OPENINGS TO ACCOMMODATE NEW WINDOW INSTALLATION.
- CLEAN SURROUNDING MASONRY AROUND WINDOW OPENINGS AND REPOINT JOINTS PRIOR TO INSTALLATION OF NEW WINDOWS.
- REMOVE AND CLEAN ALL SEALANT FROM PRECAST SILL JOINTS. PROVIDE SEALANT AT ALL JOINTS. MATCH COLOR OF EXISTING PRECAST SILLS.
- FIELD VERIFY WINDOW ROUGH OPENING DIMENSIONS.
- PROVIDE CUSTOM SIZE WINDOW UNITS TO FIT ARRANGEMENT SHOWN. FIELD VERIFY ALL DIMENSIONS.
- INSTALL WINDOWS PER MANUFACTURER'S INSTRUCTIONS. SHIM AND PLUMB ALL WINDOW UNITS AS REQUIRED.
- PROVIDE BACKER ROD AND SEALANT AT THE PERIMETER OF ALL WINDOWS.
- REPAIR ALL INTERIOR WALL SURFACES DAMAGED DURING WINDOW REPLACEMENT. PAINT TO MATCH EXISTING ADJACENT WALL SURFACES.
- ALUMINUM WINDOWS SHALL BE WHITE ANODIZED FACTORY FINISHED.
- FINISH PAINT ALL NEW CONSTRUCTION EXPOSED TO VIEW. MATCH EXISTING COLOR.
- SCRAPE AND PREP EXISTING INTERIOR WINDOW TRIM AND REPAIR AND PATCH SOFT SPOTS. PRIME AND FINISH PAINT TO MATCH EXISTING COLOR.
- FINISH PAINT EXTERIOR SURFACES OF EXISTING STEEL LINTELS. MATCH EXISTING BRICK COLOR.
- REPAIR CEILINGS TO MATCH EXISTING WHERE AFFECTED BY WORK.
- PROVIDE FINAL CLEANING, INTERIOR AND EXTERIOR, AFTER COMPLETION OF WORK.

DATE: 01/25/24
TIME: 10:12
FILE: 735-E40-A101
SCALE: 1/16" = 1'-0"

GA PROJECT NO. 735-E40
 DRAWN BY JDH
 CHECKED BY JH
 DATE 01-19-2024



FLOOR PLAN - PART A
 1/8" = 1'-0"
 5 0 5 10 15

GENERAL NOTES
 1. SEE DRAWING A101 FOR GENERAL NOTES.



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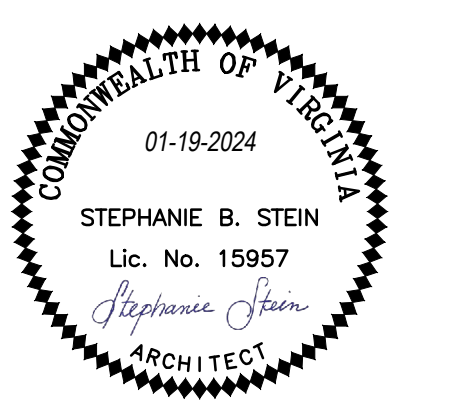
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DATE 01-19-2024

DRAWING TITLE

**ARCHITECTURAL
 FLOOR PLAN - PHASE A**

PROJECT STATUS

CONSTRUCTION DOCUMENTS

DRAWING NUMBER

A102



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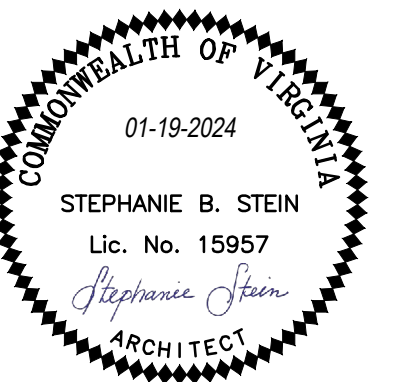
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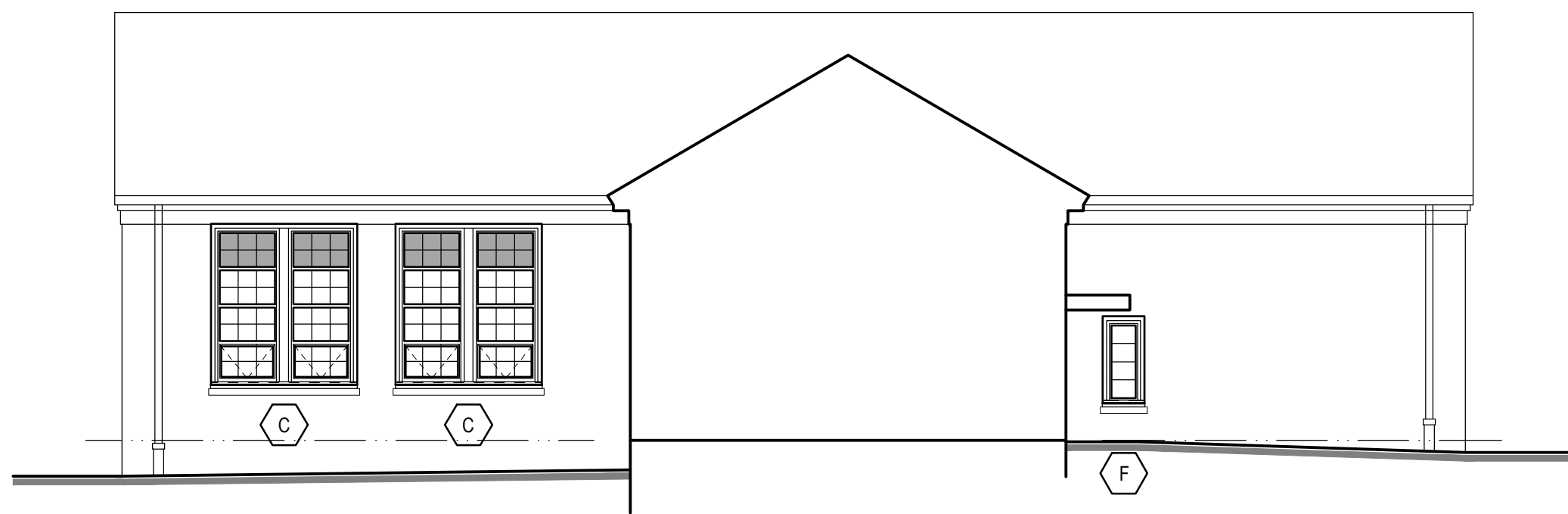
**ARCHITECTURAL
BUILDING ELEVATIONS**

PROJECT STATUS

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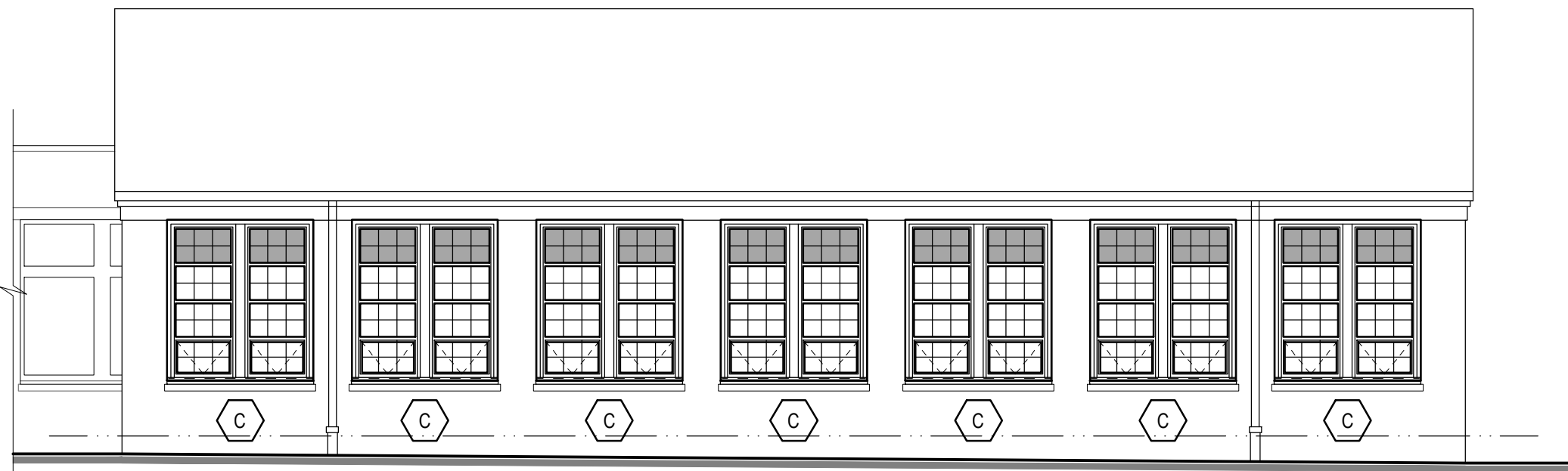
A201



1 WEST ELEVATION
A102 | A201 1/8" = 1'-0"



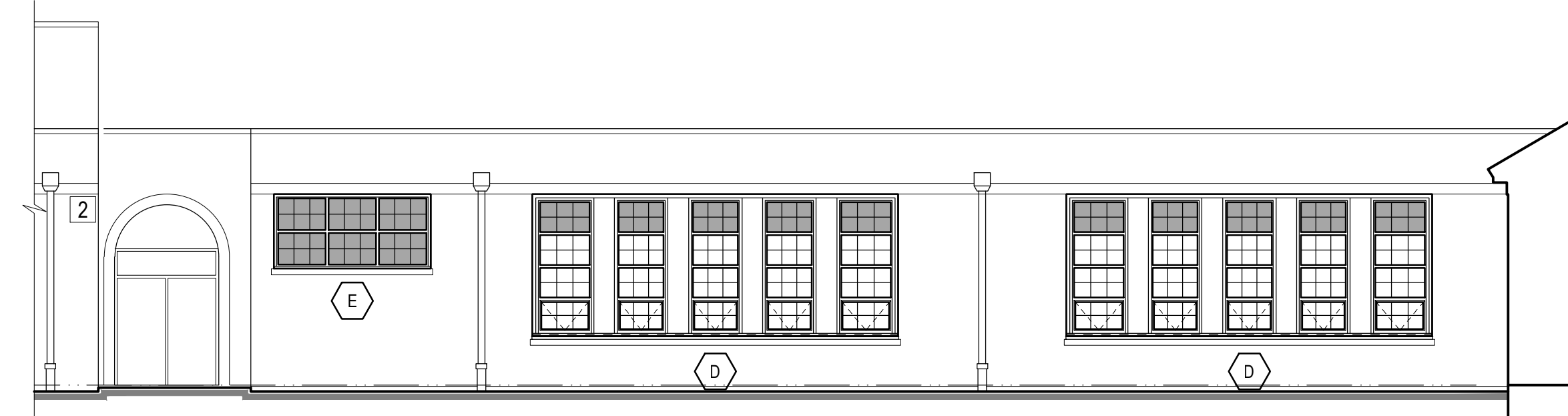
2 NORTH ELEVATION
A102 | A201 1/8" = 1'-0"



3 EAST ELEVATION
A102 | A201 1/8" = 1'-0"



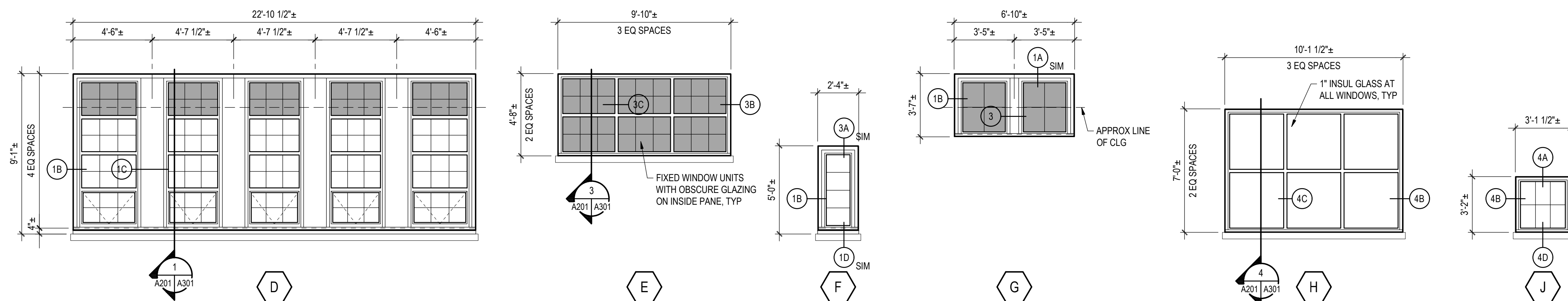
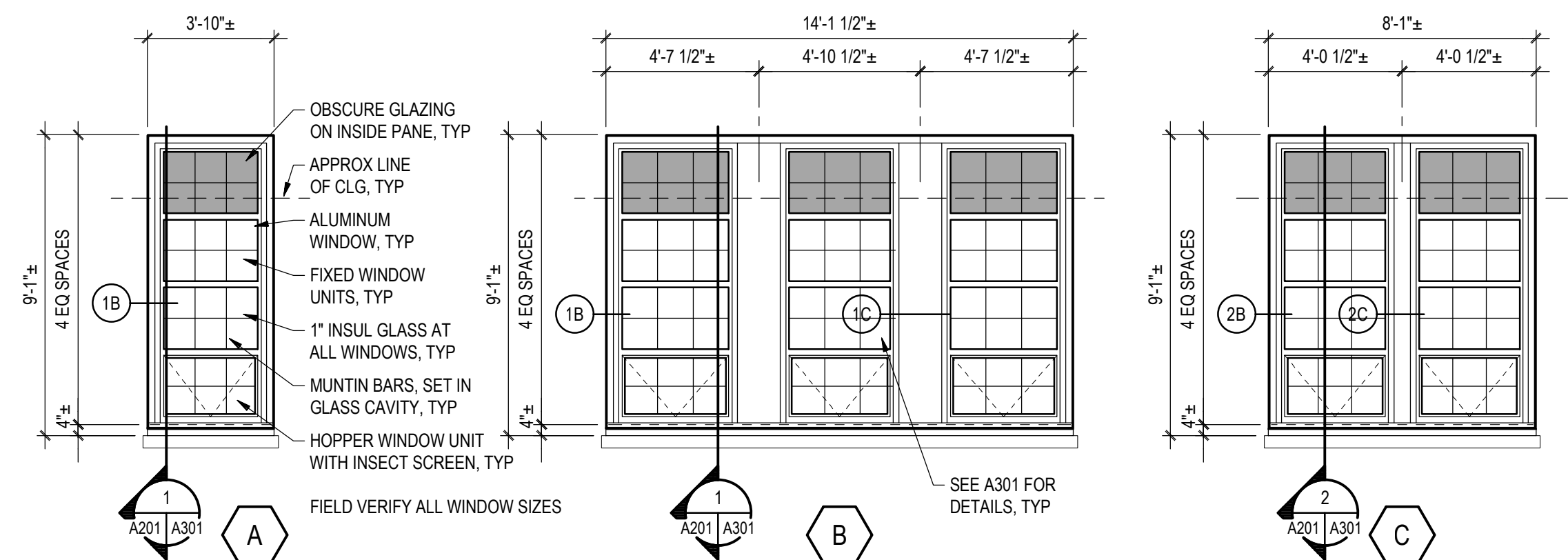
4 SOUTH ELEVATION
A102 | A201 1/8" = 1'-0"



5 EAST ELEVATION
A102 | A201 1/8" = 1'-0"



6 WEST ELEVATION
A102 | A201 1/8" = 1'-0"



WINDOW ELEVATION
1/4" = 1'-0"

FILE: 20240119_010204
 DATE: 01/20/24
 TIME: 15:06:46
 FILE: 20240119_010204
 DATE: 01/20/24
 TIME: 15:06:46
 FILE: 20240119_010204
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 TIME: 15:06:46



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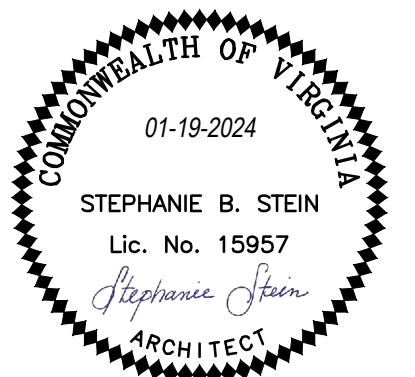
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FAIRFAX, VA

**LORTON CENTER
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-PHASE A-**



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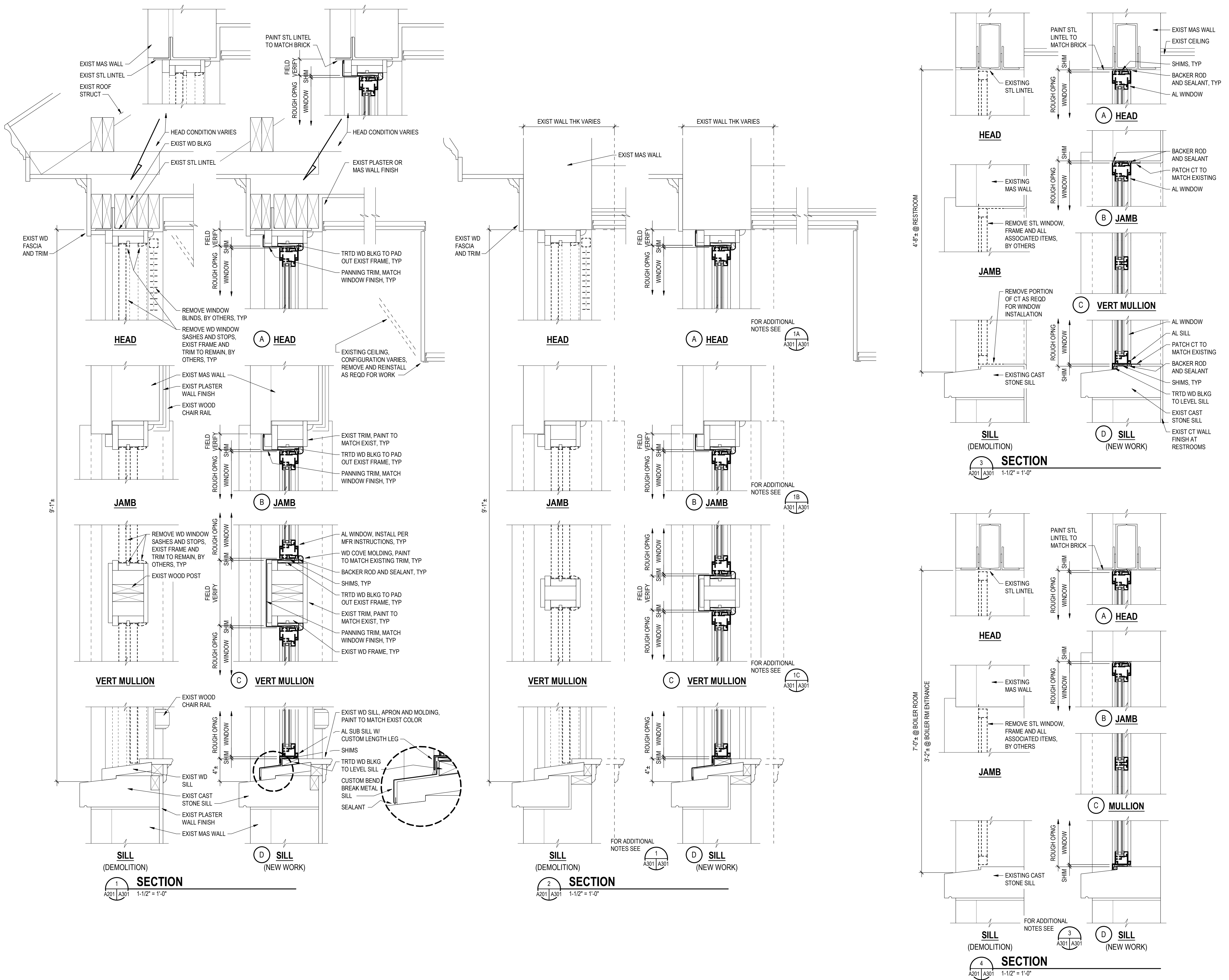
**ARCHITECTURAL
SECTIONS AND DETAILS**

PROJECT STATUS

CONSTRUCTION DOCUMENTS

DRAWING NUMBER

A301



FILE: 1904A301-A
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